

APPENDIX A

ARTICLE XIV-G

SCREENING REQUIREMENTS, WALLS, AND FENCES

Section 1 PURPOSE:

To encourage the most appropriate use of land and conserve and protect the privacy and value of adjacent permitted uses. Regulations are prescribed for the location and type of various screening devices to be used when required in the various zoning districts or in this section in accordance with the following standards.

This Article XIV-G shall apply only to the following zoning districts, to wit:

“A”	Apartment District
“A-2”	Apartment-2 District
“NO”	Neighborhood Office District
“GO”	General Office District
“NR”	Neighborhood Retail District
“LR-2”	Local Retail-2 District
“GR”	General Retail District
“C-1”	Light Commercial District
“C-2”	Heavy Commercial District
“I-1”	Light Industrial District
“I-2”	Heavy Industrial District
“SU”	Specific Use Permits
“PD”	Planned Development District

Section 2 SCREENING OF NONRESIDENTIAL AND APARTMENT AREAS:

- A. In the event that apartment or other non-residential uses, side or back upon an existing Single Family, Duplex, or Residential "PD" District, a screening wall shall be erected on the property line. (See Figure #1)
- B. In the event that any other non-residential district sides or backs to an existing Apartment District, and is not separated there from by a street, a screening wall shall be erected on the property line. (See Figure #1)
- C. The owner of the apartment property, or other non-residential use, shall be responsible for and shall build and maintain the required screening wall on the property line dividing the property from the single-family or duplex residential district. This construction requirement applies only when an apartment use is adjacent to residential uses at the time of the apartment's construction, or when a single-family, duplex residential, or apartment use is adjacent to the non-residential use prior to the time of construction of the non-residential use.

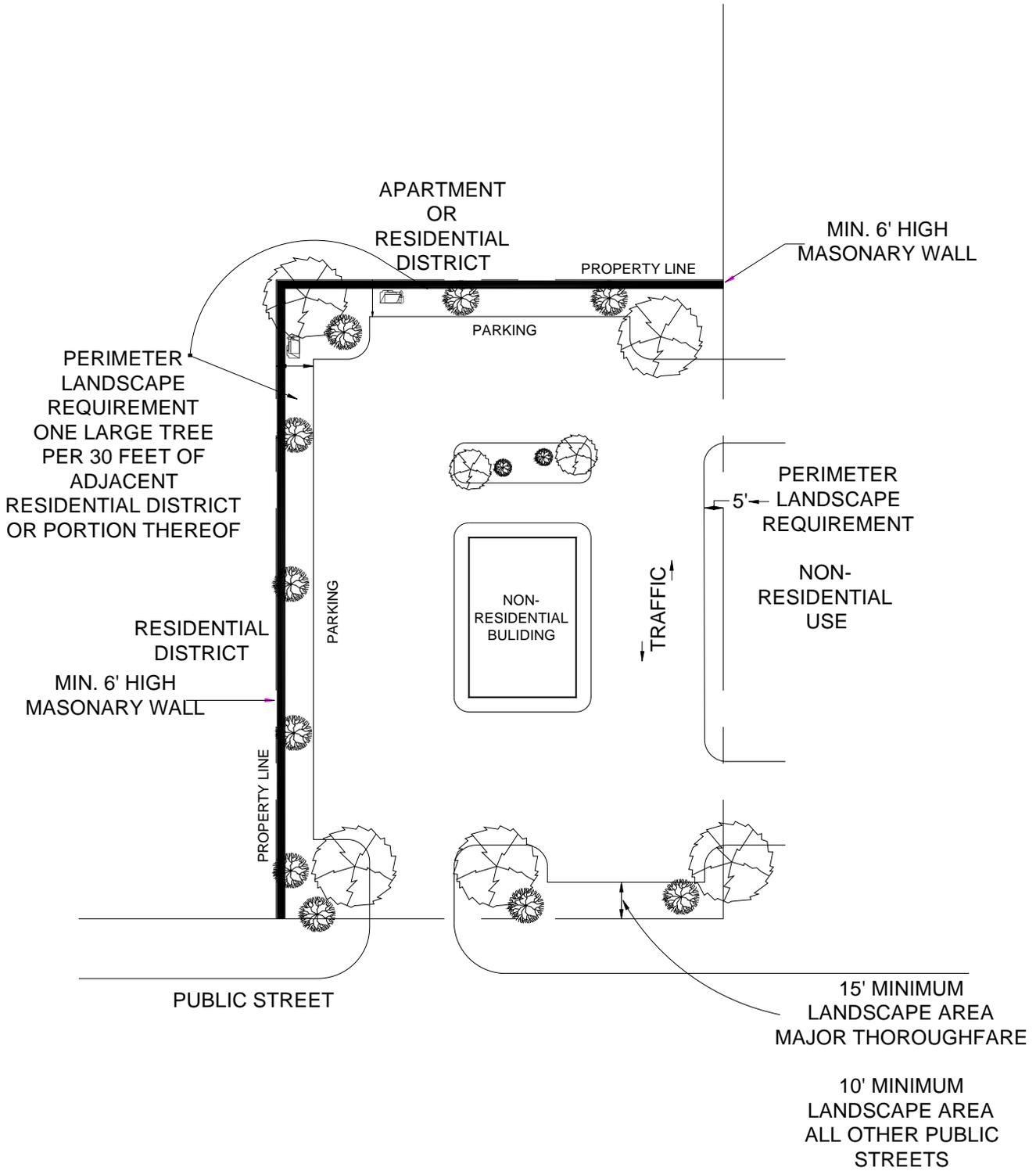
- D. In the event that an existing apartment or other non-residential use, side or back upon an existing Single Family, Duplex, or Residential “PD” District and the non-residential or apartment use of the property discontinues for a period of six months, then a new screening wall shall be erected on the property line, in accordance with the requirements contained herein, prior to issuance of a certificate of occupancy for a new non-residential or apartment use of the property.
- E. The purpose of the screening wall or fence is to provide a visual and protective barrier between the properties. Required screening walls shall comply with the following general standards.
1. The height of the screening wall shall be not less than six feet (6') nor more than eight feet (8') in height. Top of wall elevations shall be a minimum of six feet (6') above the adjacent parking lot grade. In cases of extreme grades, elevations, or drainage ways at the property line, the Director shall have the authority to cause the wall to be built at the most advantageous location on the property to provide a visual barrier.
 2. When screening is required between non-residential and residential uses, it shall be the responsibility of the non-residential use to construct and maintain the screening wall. Walls or portions of walls, that exhibit failure of the foundation, panel separation, tilting, shifting, leaning of columns, spalling, or other failure modes shall be replaced or repaired.
 3. Any screening wall or fence required under the provisions of this section, under a Specific Use Permit, Special Use Permit, Planned Development District, or other requirement shall be constructed of masonry materials which do not contain openings except as detailed below.
 4. Solid brick and concrete block walls shall comply with the following minimum requirements.
 - a. Minimum of 5” thick.
 - b. Concrete block walls shall have a textured surface on both sides.
 - c. Concrete block walls shall be painted on both sides. The product for use in providing color to the masonry surface shall be a product specifically designed for that purpose. Color samples shall be provided to the Building Official for final approval.
 - d. Walls shall be designed and sealed by a professional engineer licensed in the State of Texas.
 5. Prefabricated walls constructed with concrete panel walls shall comply with the following minimum standards.
 - a. Panels shall be reinforced with both fiber mesh and steel reinforcement.
 - b. Reinforcing steel shall comply with the requirements of ACI-318 or per minimums specified herein, whichever is more stringent.

- c. Welded wire shall conform to the requirements of ASTM A185 or ASTM A497.
 - d. All concrete for the prefabricated wall system shall have a minimum compressive strength of 5,000 psi at 28 days. Wall panels and columns shall be designed to meet the current City of Duncanville Building Code and wind load requirements to withstand a wind load of 90 miles per hour.
 - e. Column spacing shall be a minimum five feet between columns, and a maximum of 8 feet between columns unless approved by the Public Works Department. Maximum and minimum distance between columns shall be measured from centerline to centerline.
 - f. Panels shall have a molded stone, brick, stucco, masonry pattern or be textured on both sides.
 - g. Color shall be integral into the material of the wall panel and other components of the wall system and may not be painted. Color samples shall be provided to the Building Official for final approval.
 - h. Walls shall be designed to prevent movement between panels or openings resulting from settlement of the columns or wall foundation.
 - i. Walls shall be sealed with concrete adhesive (Polyurethane vulkem 116 – color of vulkem to match as much as possible to the integral color) or equal at the joint between adjacent panels and down the tracks of one side of the concrete posts.
 - j. The screening wall shall require a minimum twelve (12) inches wide reinforced concrete mow strip. The concrete mow strip shall be a minimum thickness of four (4) inches and maximum of six (6) inches and be variable height to limit the gap between the wall panels and the mow strip finished grade to a maximum of 1½-inches. The concrete mow strip shall include a City approved method to accommodate surface drainage. Screening walls and mow strips shall be designed to accommodate through drainage if dictated by the drainage plans approved by Engineering Division.
 - k. Shop drawings sealed by a professional engineer licensed to practice in the State of Texas showing panel reinforcing, column spacing, footers, foundations, and required excavation and wall appurtenances for a complete functioning engineered prefabricated wall system.
 - l. All pre-cast concrete screening wall products shall be manufactured by a National Precast Concrete Association (NPCA) certified manufacturing plant with a minimum of 5 years of experience. A current copy of the manufacturer's NPCA certificate must be included with the sealed engineered drawings.
6. Poured-in-place walls shall be designed by a professional engineer licensed to practice in the State of Texas. Poured-in-place walls shall have a rubbed finish and be painted on all sides. No voids or honeycombs shall be visible.
 7. All wall or fence openings shall be equipped with gates equal in height and screening characteristics to the wall or fence.

8. City of Duncanville or Duncanville Independent School District properties or facilities shall be exempt from this requirement.
- F. Outside storage of materials, commodities, or equipment shall be screened with a minimum six-foot (6') fence or wall. See Article XXIII for definition of outside storage.
1. In districts permitting open storage, screening shall be required only for those areas used for open storage. A minimum six-foot (6') screening fence or wall shall be provided and maintained at the property line adjacent to the area to be screened by one or a combination of the following methods:
 - a. Solid brick, masonry or precast concrete.
 - b. Vinyl
 - c. Chain link with solid landscape screening.
 - d. Wrought iron with solid landscape.
 - e. Slats, fabric or other materials woven or attached to chain link fences shall not be permitted.
 2. No outside storage may exceed the height of the fence. Outside storage exceeding eight feet (8') shall require a variance before the Zoning Board of Adjustment.
 3. No outside storage permitted in the front yard.
- G. Refuse storage areas, not within a screened rear service area which are visible from a public right-of-way for all nonresidential, and multi-family uses shall be visually screened by a minimum six foot (6') screening wall meeting the requirements of Sections 2.E.4 thru 2.E.6 of this ordinance on all sides except the side used for garbage pickup service, such side shall provide a gate (see Figure #2). No container shall exceed the height of the screening wall. Refuse containers over eight (8') in height shall require a variance before the Zoning Board of Adjustment. Bollards shall be installed at the rear of the enclosure.
- H. All mechanical, heating and air conditioning equipment (roof top or ground mount) shall be screened using materials approved by the Building Official from view at ground level from public streets and rights-of-way and from adjacent residential districts and Planned Development-2 Districts for residential uses.
- I. Alternate equivalent screening may be approved through the site plan approval process, under Article XIV-H.

Section 3 **FENCES**

- A. See Chapter 12, Article X, of the Duncanville Code of Ordinances for fence regulations. This ordinance shall supersede the requirements of Chapter 12, Article X, where there is a conflict.



SCREENING WALL REQUIREMENT

FIGURE # 1

not to scale

